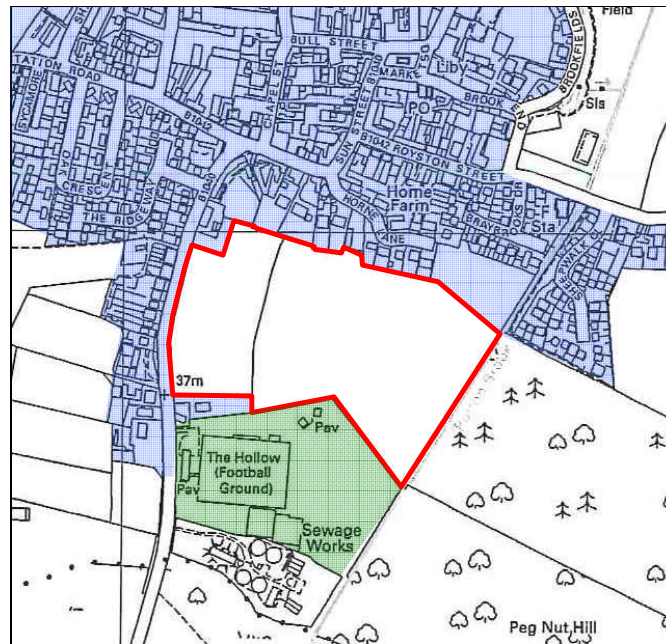


Appendix **A**

**DEVELOPMENT BRIEF FOR RESIDENTIAL & EMPLOYMENT MIXED-USE  
DEVELOPMENT WITH ACCESS, OPEN SPACE AND COMMUNITY HALL  
LAND EAST OF BIGGLESWADE ROAD, POTTON, BEDS. SG19 2LX**

***FINAL DRAFT***



**AUGUST 2012**

1.0 **INTRODUCTION**

1.1 This Development Brief has been prepared to guide the development of the land east of Biggleswade Road, Potton.

1.2 The land extending to 7.4 hectares is allocated for mixed use residential and employment development, together with community hall and an extension to the existing sports ground by Policy MA5 of the Central Bedfordshire (North Area) Site Allocations Development Plan Document adopted in April 2011.

1.3 This Brief aims to ensure that a quality design is achieved throughout the development, providing an attractive environment that complements the existing built form of Potton.

*Purpose*

1.4 The purpose of this Development Brief is to:

- Establish an urban design framework for the site, based on site characteristics and constraints;
- Provide design guidance for the preparation of detailed proposals for the site and assist the consideration of future planning applications.

- Provide an indication of the likely planning obligations required to support development on the site;
- Confirm the nature of the technical work required to support any planning application for the development of the site;
- Provide a mechanism through which members of the public can have greater involvement in the development of proposals for the site; and
- Provide certainty for prospective developers and members of the public as to the future development of the site.

*Development Brief Status*

1.5 The Development Brief has been adopted by the Central Bedfordshire Council as technical guidance and will be a material consideration in guiding and informing development management decisions in respect of any future planning applications for the site.

*Consultation*

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1.6 Following the allocation of the site the promoters for the land entered into a dialogue with the Council and this led to a series of Stakeholder Group meetings involving representatives of the Town Council, local groups and officers in the council to explore the local and site specific issues that should inform the development and how the proposals can be brought forward.

1.7 Following the production of a draft Brief the document was the subject of a four week consultation exercise in July 2012 in accordance with the Council's adopted Statement of Community Involvement. During this period members of the public, groups and organisations commented on the draft proposals.

1.8 Following the consultation exercise the Brief was updated, to take into account the relevant suggestions or comments that were received. In .....the revised Brief was considered and adopted by the Central Bedfordshire Executive Committee of the Council.

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**Deleted:** The National Planning Policy Framework places importance on early engagement between key stakeholders, local community groups and other interested parties. The guidance explains that quality pre-application discussion enables a more efficient and effective planning system and improved outcomes for the local community.

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## 2.0 **PLANNING POLICY**

2.1 Policy MA5 of the Site Allocations DPD states:

*'Land to the East of Biggleswade Road, Potton, as shown on the Proposals Map, is allocated for a mixed-use development providing a minimum of 150 dwellings approximately 1 hectare of B1 employment land, a community hall and an extension to the existing sports ground.'*

*In addition to the general policy requirements in the Core Strategy and Development Management Policies DPD and appropriate contributions to infrastructure provision in the Planning Obligations SPD, development on this site will be subject to the following:*

- *Production of a development brief to guide development;*
- *Provision of a new roundabout on Biggleswade Road to provide safe and convenient access to the development;*
- *Provision of employment units which are flexible in their use in order to meet changing future requirements;*
- *Provision of multifunctional green space with enhancements for biodiversity;*
- *Control of surface water drainage to ensure that there is no increase of run-off into surrounding water courses;*
- *Provision of an alternative access to the existing recreation ground;*
- *Provision of sufficient capacity within the public foul sewer system and at the wastewater treatment works to meet the needs of the development;*

- *In order to safeguard local amenity, a buffer zone shall be created between the proposed mixed-use development and the existing wastewater treatment facility. Its siting and design shall form part of the Development Brief that will be created for the site; and*
- *Preparation of a Transport Assessment to determine the impact on the Biggleswade Eastern Relief Road and A1 southern junction. If an impact is identified, contributions may be required towards the Biggleswade Eastern Relief Road and A1 southern junction improvements.'*

2.2 Relevant policies from the Core Strategy and Development Management Policies DPD are referred to as required throughout this Brief. The full text of the policies can be viewed on the Council's website:  
<http://www.centralbedfordshire.gov.uk>.

2.3 Developers are also advised to have regard to the *Design in Central Bedfordshire: A Guide for Developers SPD* and its companion Design Supplements in preparing proposals for the site.

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**3.0 SITE CONTEXT**

3.1 Potton is a small historic market town situated in the north-eastern corner of Central Bedfordshire. Detailed information on the town and its development can be found on the Town Council’s website: [www.pottontowncouncil.co.uk](http://www.pottontowncouncil.co.uk)

3.2 The Biggleswade Road site is located south of Potton town centre, and is shown in context on the plan below:

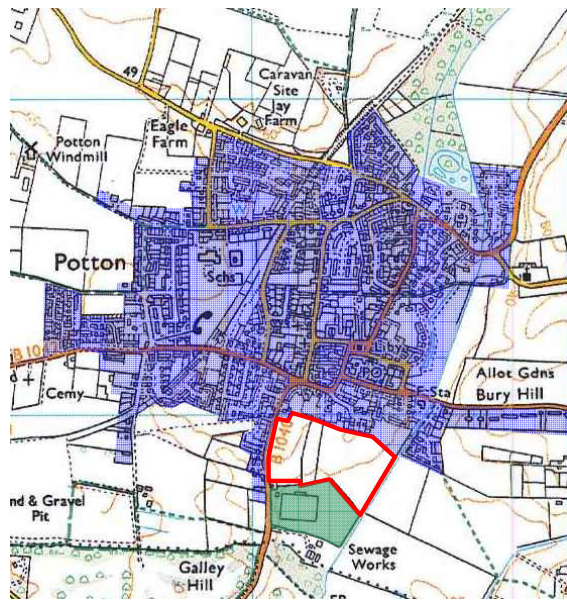
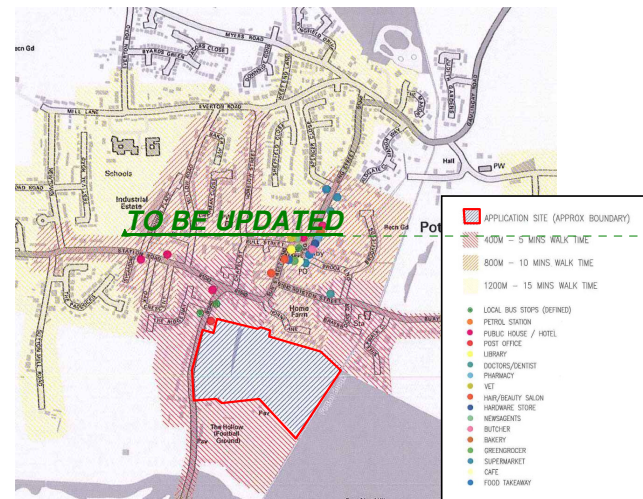


FIGURE 1: SITE CONTEXT PLAN

3.3 The site extending to 7.4 hectares is in two ownerships and comprises two distinct areas separated by an established hedge boundary. The eastern field is used for grazing.

3.4 The site abuts the wider Potton built framework immediately to the north and west. The adjoining development is primarily residential to the north and west, with a petrol filling station at the north west corner. To the south the site adjoins residential properties and The Hollow sports area.

3.5 The site is in a highly accessible location and well related to the town’s facilities, which are within easy walking distance.



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**VISUAL CONTEXT**



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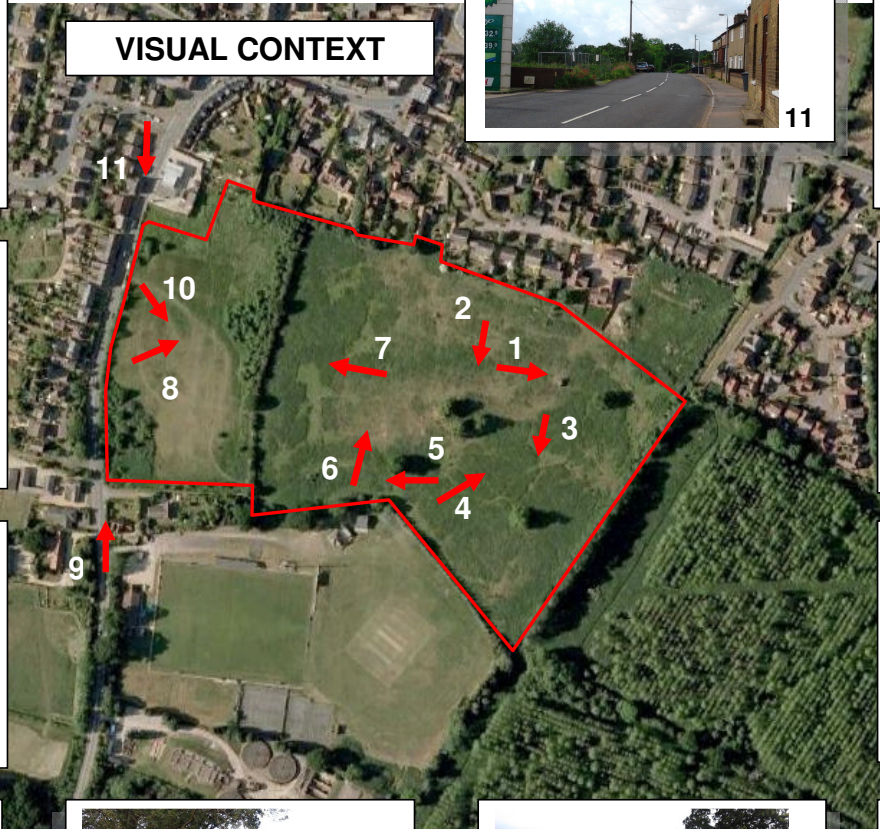
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#### 4.0 CONSTRAINTS AND OPPORTUNITIES

4.1 The site has been assessed to identify the constraints that will have a bearing on the form and layout of the site and following have been identified:

- Levels: the site is undulating with raised mounds and slopes that will influence the detailed design. Overall the site falls from the north west corner to the south east corner with levels varying from 43.8 metres ODN to 33.75 metres ODN.
- Protected Trees: a number of trees on and adjoining the site are the subject of Tree Preservation Orders.
- Established hedge feature: this separates the two ownerships and provides an established 'green' feature and habitat area.
- Established boundary planting: This provides established screening and the development should aim to retain as much as possible.
- Potton conservation area boundary: this abuts a small part of the development area northern boundary.
- Flood: a small part of the site adjacent to the brook is within the 1 in 100 year flood area.
- Main Sewer: Anglian Water has a foul main sewer crossing the eastern half of the site, which is subject to a 3 metre wide easement either side.

- Elevated views: the changes in levels across the site are quiet dramatic resulting in longer distant views from and into parts of the site.
- Odour Buffer Zone: monitoring, sampling and assessments of odour emanating from Potton Sewage Treatment Works to the south of The Hollow sports ground has been undertaken on a number of occasions in co-operation with Anglian Water. The results have been analysed to identify a series of contours that reflect the potential odour exposure from the works across the site. As a precautionary measure and to ensure a satisfactory living environment the Council has sought an odour threshold not exceeding 1.5 OUE/m3 for the residential development.
- Neighbouring housing amenity: along the north side the development backs on to residential properties in Horne Lane and new residential development currently under construction off Sheepwalk Close. Along the south – west edge the development backs onto properties accessed from Biggleswade Road. Any development will need to ensure that the amenity of existing residential properties is safeguarded from issues such as loss of privacy or light. This will need to include consideration of the differing ground levels of some adjacent properties.

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- Light Sources: flood lighting on The Hollow football pitch may have a bearing on residential amenity, but with the separation and intervening employment development this is expected to be limited.
- Ecology: an ecological appraisal and protected species report has been undertaken and this has recorded the presence of Water Voles along the Potton brook. Water Vole habitat is safeguarded under the Wildlife and Countryside Act 1981 and to safeguard their habitat it is proposed there will be no development within 5 metres of the top of the bank. The established hedge feature has also been identified as a flight path for bats. This will be retained with the exception of a single break to accommodate the site access and will be subject to a management regime.

4.2 Although not specific to areas of the site, the following further constraints have been identified and will need to be considered with the preparation of detailed proposals:

- Archaeology: the site is close to local archaeological finds and the land to the north was the subject of an investigation where a number of pits were found, suggesting evidence of tanning. More recent archaeology on the site is a small World War 2

warden's hut. In the circumstances an investigation has been undertaken and this found features mostly associated with land division and some degree of settlement activity in the vicinity.

- Ecology: Although the ecological appraisal and protected species report concluded the site overall is habitat poor, this identified a small population of lizards on part of the site. Prior to any development commencing the lizards will need to be caught and relocated to new wildlife friendly habitat that will be provided on the eastern part of the site.

4.3 The constraints and opportunities in respect of the site are shown on the following plan and prospective developers will need to demonstrate how these have been addressed in detailed proposals.

4.4 The opportunities that have been identified are:

- A community hall site
- Public open space
- Improved access to The Hollow sports ground
- Wildlife enhancement
- The connection of the development site with the Rights of Way network to the south and east of the site.

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**Deleted:** The established hedgerow boundary within the site is also considered to have ecological value. This will be retained where possible and brought under a management regime.

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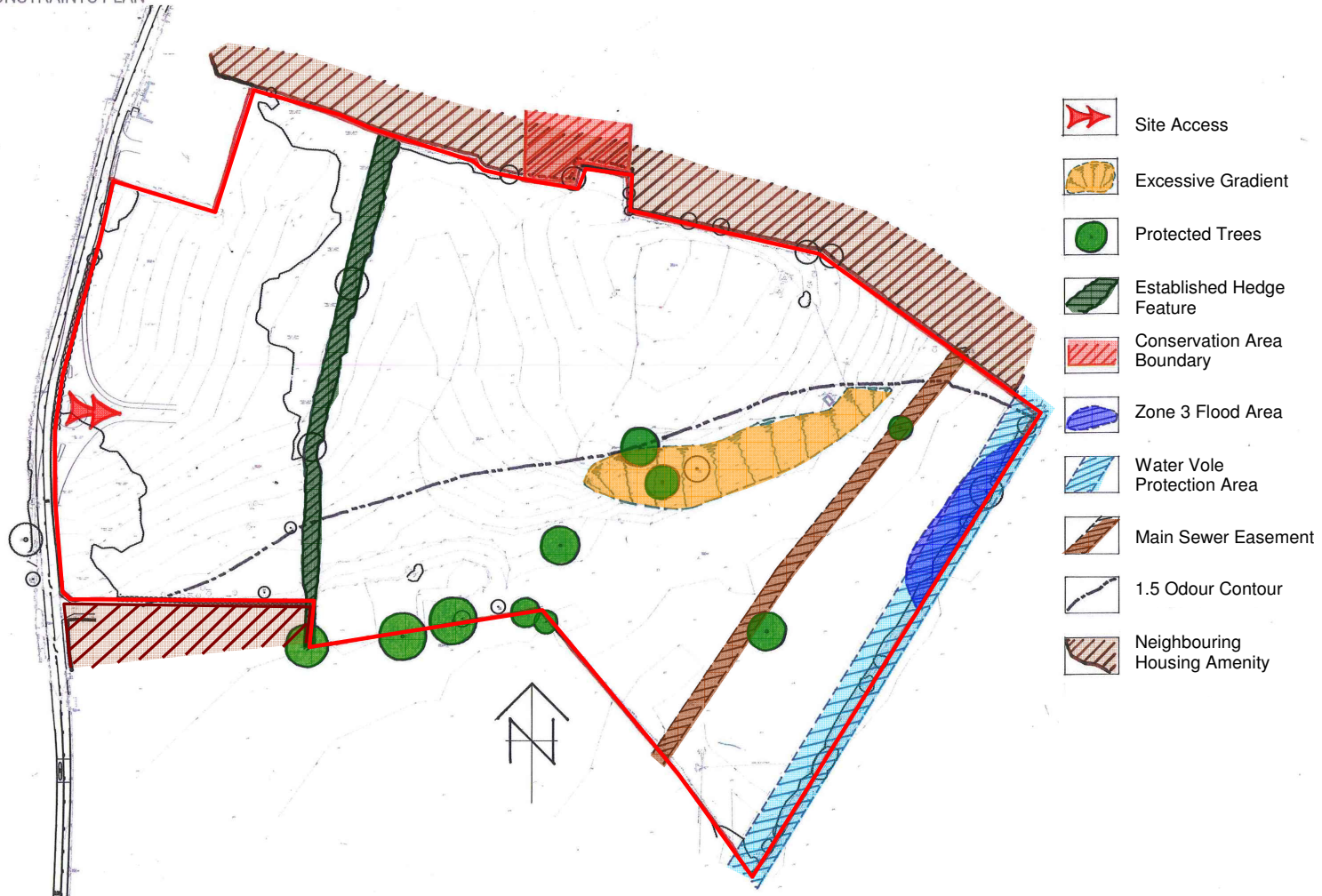
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BIGGLESWADE ROAD, POTTON  
CONSTRAINTS PLAN



-  Site Access
-  Excessive Gradient
-  Protected Trees
-  Established Hedge Feature
-  Conservation Area Boundary
-  Zone 3 Flood Area
-  Water Vole Protection Area
-  Main Sewer Easement
-  1.5 Odour Contour
-  Neighbouring Housing Amenity

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5.0 **DESIGN PRINCIPLES**

5.1 Central Bedfordshire Council's commitment to achieving high quality design is set out in the Core Strategy and Development Management Policies DPD and the Design Guide for Central Bedfordshire. Prospective developers should ensure they are familiar with these documents and that their proposals for the site adhere to the principles contained therein, ensuring a high quality well designed development. Of particular importance is the need to ensure the development successfully incorporates local vernacular architecture.

**USE**

5.2 Policy MA5 of the Site Allocations DPD establishes the parameters for the residential and employment development with reference to a minimum 150 dwellings, approximately 1 hectare of B1 employment land, a community hall and an extension to the existing sports ground.

**AMOUNT**

5.3 The residential development area extends to about 4.2 hectares, the employment development extends to about 0.84 hectares, the community hall site with land for car park extends to 0.4 hectares. The remaining area will be developed as a green area for a range of recreation uses.

5.4 To satisfy the Council's Open Space policies, it is envisaged the development will need to ensure about 1.152 hectares of on-site Open Space, including equipped play space, informal open space and formal outdoor recreation. In this instance the proposed green area will exceed the open space requirement significantly.

*Housing Density*

5.5 The Council's Design Guide identifies densities of around 35-45 dwellings per hectare for Market Town residential areas. To reflect the range of different properties in the locality, and its edge of settlement location the site will be developed at a density of 35 dwellings per hectare. This is consistent with the Kier development currently underway south of Braybrooks Drive.

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5.6 It is accepted that some of the open space needs of the development will be provided outside of the identified residential area on the adjoining green area. Density calculations generally include residential open space and on this basis it is envisaged the residential component will have a notional area of 4.61 hectares. At the proposed density of 35 dwellings per hectare the site should therefore yield a minimum 150 dwellings.

5.7 Densities across the site will range from very low density areas with detached houses located within spacious plots to semi-detached houses with front gardens, driveways and garages to the side, to high density houses of continuous terraces and some apartment units.

#### *Housing Mix*

5.8 In accordance with Policy DM10 Housing Mix, prospective developers will be expected to provide a mix of both market and affordable dwellings on the site. The housing will comprise a mix of property types and sizes ranging from 2 to 4+ bedroom properties, with a predominance of generous family living units. A proportion will meet the Lifetime Homes standards and some units will specifically be focused on older generation needs.

#### *Affordable Housing*

5.9 The development will include 35% of the units as affordable dwellings, in accordance with the Core Strategy and Development Management Policies DPD and will comprise a mix of rented and shared equity units. The local housing needs survey has identified a preference for 2 and 3 bedroom family units. The affordable housing will be integrated with the market housing in appropriate clusters to create a sustainable mixed community.

5.10 The developer will be expected to provide justification for the mix of market dwellings proposed, and to seek the advice of the Council's affordable housing team in determining an appropriate mix of affordable housing that best meets local needs.

#### *Employment Development*

5.11 It is envisaged the employment development will provide small flexible workshop buildings suitable for light industrial uses that will not give rise to noise or dust nuisance to the existing and proposed residential development. The units will be focused on small starter type units, but be flexible to accommodate expanding businesses.

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5.12 It is envisaged the area will achieve around 40% site coverage and provide around 3,200 sq metres of floor area in a range of buildings, together with car parking and a vehicle manoeuvring areas.

### LAYOUT

5.13 The layout of the scheme should respond to the site constraints and opportunities, together with the urban design principles set out in the Design Guide.

5.14 Reviewing the site opportunities and constraints, together with the surrounding local context, an indicative layout has evolved with the creation of 5 character areas comprising:

- housing fronting Biggleswade Road;
- housing to the north of the site core;
- housing fronting the leisure uses and area of open space on the eastern side;
- employment development to the south of the core; and
- areas of open space, leisure and recreation to the east of the site core.

The layout is conceptual at this stage with simple building blocks intended to loosely represent the possible built form. This will be developed in more detail with subsequent planning applications.

### Residential

5.15 The residential properties along Biggleswade Road will be set back from the frontage with the opportunity for new planting to maintain the rural lane character, whilst allowing views into and out of the development at the entrance.

5.16 The housing to the north of the site core will have a more urban character with relatively small building blocks in a distorted grid pattern providing strong frontages, corner turning buildings and focal points at key locations. This should ensure a built form that draws on the historical pattern of the town, adding variety and interest to the development. The aim will be to substantially improve on the quality of development in comparison to recent housing developments in the area. This will include a play area, along with areas of incidental open space located around existing trees and hedges, which will create features within the development.

5.17 The layout also identifies the opportunity for rear access to the terraced properties on the corner of Blackbird Street/Biggleswade Road.

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# INDICATIVE/CONCEPT LAYOUT PLAN



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5.18 On the eastern edge the residential properties will be arranged to achieve a balance with properties fronting onto the green area, whilst at the same time ensuring the frontage is not too dominated by buildings. The proposal will ensure a careful planning scheme that allows for visual permeability with views into and out of the development from the open space, ensuring natural surveillance of the open space area.

5.19 The housing will include areas of higher density dwellings which will help to enclose key public spaces. A range of housing typologies will be required to ensure a range of house types for future residents and establish a varying grain and character to the entire development. This will include greater use of modelled house types to add interest and distinctiveness to the development.

5.20 The layout will incorporate footpath/cycle tracks to ensure good access through the development and good links to the wider area. This will include links to the western edge to connect to Biggleswade Road. The opportunity for a connection to Sheepwalk Close which joins Bury Hill and public footpath 1 has been identified. This will involve other land ownerships, but reasonable efforts will be made to facilitate the provision of the on-site footpath network to be connected to the off-site footpath network.

5.21 The layout of the properties will take advantage of the southerly aspect, whilst also respecting the changing levels within the site, and the need to safeguard the amenity of existing adjoining properties.

#### *Employment Development*

5.22 The new business premises will be laid out around a courtyard to create a screen that will contain the associated activities to prevent encroaching onto the residential areas. This will provide a mixture of flexible workplace premises able to meet the requirements of small start-up and expanding businesses.

5.23 The proposal offers the opportunity to reinforce the existing planting on the southern boundary adjacent to The Hollow with additional trees and understorey vegetation that will provide a green edge adjacent to The Hollow sports area.

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*Community Hall*

5.24. The Community Hall will be located to complement the green area on the eastern side of the site and provide a built form at the end of the main access road. This will be in proximity to the adjacent sports facilities so that it can be used by sports clubs based at The Hollow. The proposed siting will also ensure the Community Hall does not affect residential properties by reason of noise generation.

5.25. The Community Hall proposal will depend on the local aspirations. An assessment is being undertaken by a Steering Group comprising local bodies, which is exploring the form and layout this should take and developing a business plan in consultation with the local community.

5.26. The proposal will ensure sufficient space for the hall, together with adequate land for car parking.

*Open Space*

5.27. The residential layout will incorporate a children's play area that will be equipped to the Local Area of Play for children (LAP) standard. On the edge of the housing and within the green area a further children's play area will be provided equipped to the Local Equipped Area of Play (LEAP) standard. These will have suitable buffers around them to ensure they do not cause nuisance issues and be overlooked by surrounding properties, ensuring natural surveillance.

5.28. The open space will be provided along the level swathe of land, and the lower slope towards the eastern edge of the site. This will provide an attractive and pleasant area in a highly accessible location that will relate to the community hall with potential for 'kick around' areas that can be linked to the recreation activities on the existing Hollow. The remaining open space will be a combination of informal open space, including opportunities for a community orchard, which will also provide enhanced wildlife habitat areas.

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## SCALE PARAMETERS

### *Residential*

5.29. Development in Potton is largely 2-storey and this will be reflected in the proposed scheme. The properties will generally be maintained at 2 storeys with some incorporating accommodation in the roof space. At appropriate locations the variation in heights will be more pronounced to add interest at focal points and on the Biggleswade Road frontage 2½ storeys could be introduced to reflect the elevated housing on the west side. The variation in layout will enable an interesting and varied design and ensure no detrimental effect on the quality of the environment or landscape. The scale will be domestic in its use of building elements, structures and materials, as well as dwelling sizes.

5.30. The building envelopes will range from detached units to terrace units, larger apartment blocks, and garage blocks. The garages will be of adequate size to accommodate a typical family car and cycle storage.

### *Employment Development*

5.31. This will provide a range of different sized flexible workplace premises suitable for B1 light industrial use.

### *Community Hall*

5.32. The hall will be expected to provide a sports hall and ancillary leisure uses such as a bar, function room(s) and storage areas. Specific proposals will very much be in the hands of the local community.

## APPEARANCE

5.33. Prospective developers will be required to ensure the development successfully incorporates local vernacular architecture and is recognisably part of Potton.

### *Residential*

5.34. The buildings will be domestic in scale and respect the local vernacular. Brick will provide the main finished construction element with a careful blend of locally indigenous types to reflect the traditional use of stock reds and buff stock bricks. Renders and boarding of various colours will further enhance the streetscene and will create harmony as well as variety throughout the development. Brick and roof detailing and fenestration will also reflect the detailing found within the town.

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Possible types of development incorporating materials common to Potton.



Example of modern small industrial unit.



*Employment Development*

5.35 These will comprise simple modern and flexible industrial units.

**ACCESS & CONNECTIVITY**

5.36 The site will be accessed from a roundabout on Biggleswade Road. This will be a compact designed raised structure and create a gateway feature at the town entrance, introducing traffic calming and improve forward visibility by removing the high bank on the road frontage.

5.37 An issue highlighted in the public consultation is the on street parking that occurs along Biggleswade Road due to limited parking arrangements for properties on the west side. The proposal will ensure the potential for parking will not be prejudiced.

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5.38 Within the site, a clear hierarchy of streets should be created, all of which should be pedestrian and cyclist friendly. Within the residential areas the road layout will ensure 'home zone' streets where speeds will be limited to 20mph via the use of restricted forward visibility, contrasting surface treatments and raised platform traffic calming measures.

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5.39 The estate road layout will provide a new and safer alternative access to The Hollow sports ground, enabling safer vehicular access onto Biggleswade Road and pedestrian access links.

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5.40 Prospective developers will be required to maximise access links between the site and the rest of the town to encourage more sustainable travel modes. In particular, links to Potton town centre and to The Hollow Sports Ground should be introduced.

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5.41 A secondary link to Sheepwalk Close off Bury Hill and Potton footpath 1 would also enhance the connectivity and permeability of the site for residents on the development and provide access to the community hall and sports area from the town. This will involve other land ownerships, but every opportunity will be taken to reinforce the existing footpath network both on and off-site. How this is achieved will be a matter for further consideration at subsequent planning application stage.

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### Parking

5.42 In accordance with Policy CS4 and the Council's Design Guide, adequate space will be required, to avoid the need for cars to park on the footpath and impede pedestrian variety of appropriate ways, through detached or integral movement. Residential parking will be accommodated in garaging, car ports or driveways and appropriate on street parking. The proposal should also ensure adequate manoeuvring for vehicles.

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### LANDSCAPE STRATEGY

5.43 Given the extent of green infrastructure to be delivered as part of the proposed development, a high quality landscaping scheme is crucial to its overall success.

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5.44 A strategic landscaping scheme will be implemented with the aims of retaining and reinforcing existing features. Additional buffer planting will be introduced to further enclose the western boundary from near-distance views along Biggleswade Road. New hedgerow and hedgerow tree planting will be introduced on the eastern edge to visually soften the new development on the higher ground seen from the east. On the southern boundary new planting will also take place to enclose the site from longer distance views and soften the rural to urban transition.

5.45 The established north-to-south hedgerow will be incorporated into the built development as a site feature. ~~This will be improved with additional planting where necessary and will be subject to an agreed Management Plan and maintenance contribution to ensure its future.~~ All new landscaping will use native planting species consistent with those found within the Clay Vale and Greensand Ridge character areas that will strengthen existing and create opportunities for new wildlife habitats through the site.

5.46 Within the development both hard and soft landscaping will be utilised to differentiate between various areas and define routes and areas for different purposes and hierarchies. A variety of paving materials and carriageway surfacing will also be utilised to emphasise changes in community zones and to guide one safely through the changing pedestrian/vehicular priorities.

#### GREEN INFRASTRUCTURE

5.47 Policy MA5 states there will be an extension to the existing sports ground. To ensure the Community Hall and open space land remain in public ownership the Potton Town Council has indicated it will take ownership of the areas and the developer will be expected to enter into an agreement to transfer the land to the Potton Town Council, with a capital payment towards the future maintenance of the area.

#### SECURE BY DESIGN

5.48 The development will adhere to the principals set out in the Government's 'By Design: Better Places to Live' by maximising opportunities for natural and passive surveillance, providing active and self-policing routes and introduce appropriate levels and types of lighting and planting.

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## DRAINAGE

5.49 At set out in Policy DM2, the Council expects the provision of a Sustainable Drainage System as part of any development scheme. Percolation investigations have established that soakaways will be adequate for surface water from the development, ensuring no greater water run off.

5.50 Investigations in respect of capacity at the treatment works have been undertaken and it has been confirmed there is available capacity.

## SERVICES

5.51 Investigations indicate services are readily available to the site. This will necessitate some upgrading and it may be possible to put in place on-site infrastructure to ensure future connectivity to superfast Broadband services.

## SUSTAINABILITY

5.52 In accordance with Policy DM1, prospective developers will need to demonstrate how 10% of the predicted energy requirements of the development will be generated either on or near the site by renewable or low-carbon energy generation techniques.

5.53 In 2006 the government announced a rating system for homes (known as The Code for Sustainable Homes) in which level 1 was marginally more efficient than building regulations at that time. Level 6 was 'carbon neutral'. In the budget of March 2011 the government set out a timetable to require new homes to attain level 5 by 2016. Policy DM2 requires all dwellings on the site to be built to meet the mandatory standards at the level within Code for Sustainable Homes and incorporate measures to reduce white water consumption in all major developments. As such, the developers will need to demonstrate how these requirements will be met.

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## 6.0 APPLICATION REQUIREMENTS

6.1 Given the extent of guidance available the Council expect prospective developers to make either a full or outline application for planning permission for the development of site MA5.

6.2 An Environmental Impact Assessment screening opinion has been obtained from the Council confirming that the likely environmental effects of the proposed development would not warrant the preparation of an Environmental Statement to accompany the application. However, due to the issues highlighted in this Brief and statutory national requirements, any future planning application will be required to be supported with the following technical documents:

- Tree Survey and Arboricultural Impact Assessment;
- Land Contamination Report;
- Transport Assessment and Travel Plan;
- Flood Risk Assessment and Drainage Strategy;
- Habitat and Protected Species Survey;
- Archaeological Assessment;
- Planning Statement;
- Design & Access Statement;
- Draft Section 106 Heads of Terms.

## 7.0 PLANNING OBLIGATIONS

7.1 To mitigate the impact of the development on local community facilities and services, and secure the proposed community benefits, developers will be required to enter into a planning obligation.

7.2 Prospective developers are advised to enter into early discussions with the Council to determine appropriate draft Heads of Terms, although it is acknowledged that the precise terms of any planning obligation will not be agreed until a resolution to approve planning permission has been made.

7.3 The Council's Planning Obligations Supplementary Planning Document (2009) will provide a starting point for negotiations, although the Council acknowledges that any obligation sought will need to comply with the statutory tests laid out in the Community Infrastructure Levy Regulations 2010. This will be expected to secure:

- Affordable housing to meet the Council's standards;
- A contribution to meet the education needs of the development;
- The transfer of the community hall site and open space.
- A contribution to meet the maintenance of the public open space, new Public Rights of Way and footpaths within the site and connections to wider rights of way network.

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- A maintenance contribution to ensure the future of the hedgerow feature through the site.
- Contributions in accordance with the Central Bedfordshire Council's adopted Supplementary Planning Guidance.

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1.6 The Council adopted a Statement of Community Involvement (SCI) in February 2006. The SCI sets out how the Council will engage with the community as part of the planning process. Although the SCI does not set out specific proposals for consultation on technical guidance, it is intended that consultation on this brief should be carried out in accordance with the broad principles established in the SCI.

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The consultation stage of this draft Brief forms a further stage of the engagement and pre-application discussions. This

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period during July and d

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1.9 To assist in canvassing views a leaflet has been distributed to all residents in Potton with a questionnaire and this can be downloaded at: [www.barfords.co.uk/downloads/potton-summary-and-questionnaire.pdf](http://www.barfords.co.uk/downloads/potton-summary-and-questionnaire.pdf)

1.10 **Comments on the proposed development are invited and these will be taken into account when finalising the development brief. These need to be received by 30th July 2012 at the latest.**

**Comments can be posted to:**

D H Barford + Co, Howard House, 17 Church Street,  
St Neots, Cambs. PE19 2BU

**OR emailed to:** [potton@barfords.co.uk](mailto:potton@barfords.co.uk)

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ill then be placed before

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for approval as technical guidance.

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A particular aim of the development is to secure a site for a new community hall for the town. With the opportunity a number of local organisations have come together to form a Community Hall Steering Group, which is undertaking its own consultation within the town to explore the support and needs, and how the hall can be realised.

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5.20 The layout will ensure permeability with pedestrian and cycle links to the western edge to connect to Biggleswade Road. These will be overlooked by properties though the development.

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opportunity will be taken to reinforce the existing footpath network both on and off-site. How this is achieved will be a matter for further consideration at subsequent planning application stage.		

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